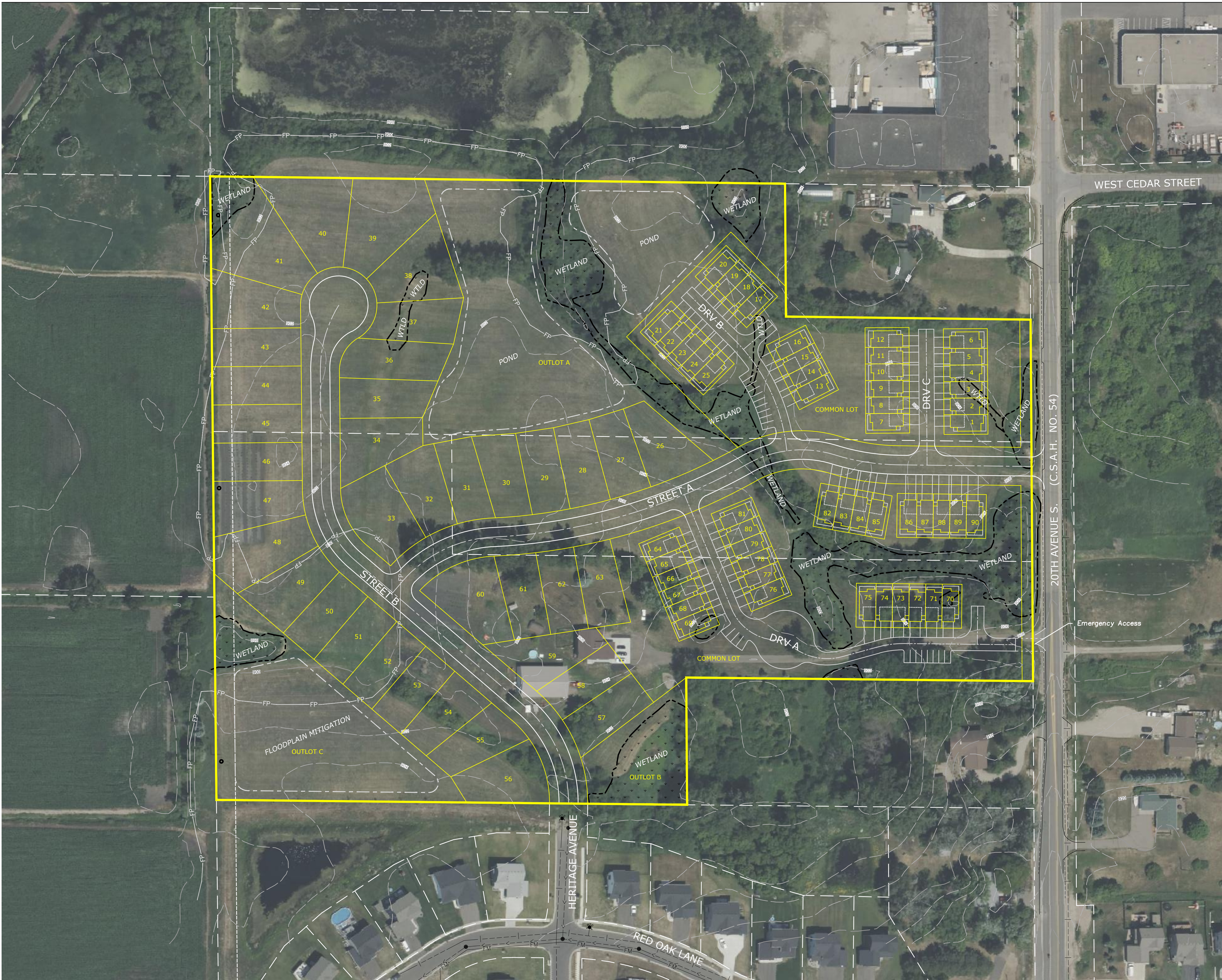




SITE DATA

TOTAL SITE AREA	±24.55 AC.
TOTAL OUTLOT AREA	±5.87 AC.
TOTAL ROW AREA	±3.11 AC.
C.S.A.H. NO. 54	±0.22 AC.
INTERNAL ROW	±2.89 AC.
TOTAL LOT AREA	±15.57 AC.
60' SINGLE FAMILY LOTS	±8.41 AC.
TOWNHOME LOTS	±2.30 AC.
TOWNHOME COMMON LOTS	±4.03 AC.
TOWNHOME PRIVATE DRIVES	±0.83 AC.
TOTAL NUMBER OF LOTS	90
60' SINGLE FAMILY LOTS	58
TOWNHOME LOTS	52
TOTAL OPEN SPACE AREA	±10.73 AC.
(OUTLOTS/Common LOTS)	
TOTAL WETLAND AREA	±2.2 AC.
TOTAL FLOODPLAIN AREA	±2.2 AC.
(OUTSIDE OF WETLANDS)	
NET DEVELOPABLE AREA	±20.1 AC.

MINIMUM RESIDENTIAL SETBACK DATA:	
FRONT	25 FT.
SIDE (GARAGE)	10 FT.
SIDE (HOUSE)	10 FT.
SIDE CORNER	20/25 FT.
REAR SETBACK	25 FT.

MINIMUM TOWNHOME SETBACK DATA:	
FRONT	25 FT.
SIDE (BETWEEN BUILDINGS)	20 FT.
SIDE CORNER	20 FT.

ROAD LINEAR LENGTH	3,105 L.F.
PUBLIC ROW	2,005 L.F.
PRIVATE DRIVES	1,100 L.F.

EXISTING ZONING	RURAL
PROPOSED ZONING	R2/PUD

LEGAL DESCRIPTION

The north 401 ft. of the NE 1/4 of the NE 1/4 of Section 26, Township 31, Range 22, except the north 208.7 ft. of the east 417.42 ft. thereof. Subject to any easements of record.

The east 944 Ft. of the south 488 Ft. of the north 589 ft. of the E 1/2 of Section 26, Township 31, Range 22. Subject to any easements of record.

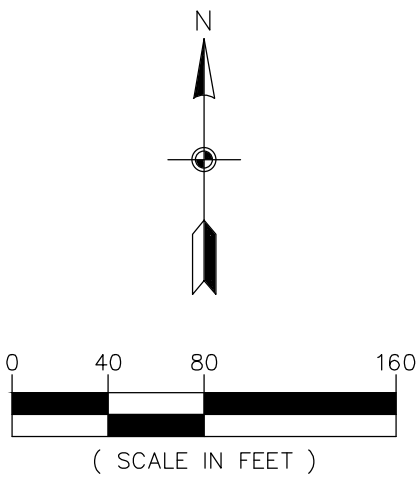
That part of the E 1/2 of the NE 1/4 of Section 26, Township 31, Range 22 described as follows, Commencing at the SE corner of said E 1/2, thence northerly along the the east line of said E 1/2, 1,865 ft. to the point of beginning. Thence westerly, parallel with the south line of said E 1/2, 578 ft., thence southerly, parallel with said east line 200 ft., thence westerly parallel with said south line 739.7 ft. +/- to the west line of said E 1/2, thence northerly along said west line 579 ft. +/- to the south line of the north 401 ft. of said East 1/2, thence easterly along said south line of the North 401 ft. 375.5 ft. to the west line of the East 944 ft. of said West 1/2, thence southerly along said west line 944 ft., 188.04 ft. to the south line of the North 589 ft. of said E 1/2, thence easterly along said south line of the North 589 ft., 944.18 ft. to the east line of said East 1/2, thence southerly along said east line 187.88 ft. to the point of beginning. Except road. Subject to any easements of record. Anoka county, Minnesota.

NOTES

- No field work has been completed at this time.
- Topography shown is LIDAR which was provided by the Minnesota Department of Natural Resources.
- No Title Work has been furnished for this survey, property is subject to all easements of record, if any.
- Wetlands delineated by Kjolhaug Environmental Services Inc..

LEGEND

- FP Denotes Existing Fence
- Denotes Wetlands
- Denotes Existing 2 Ft. Contour
- Denotes Existing 10 Ft. Contour



CONCEPT PLAN
W/AERIAL

NELSON/REHBEIN PARCELS
Lino Lakes, Minnesota

TWIN CITIES LAND
DEVELOPMENT
4800 Olson Memorial Hwy - # 100
Golden Valley, MN 55422

REVISIONS

1.	
2.	
3.	
4.	
5.	
6.	
DRAWN BY:	C.F.
ISSUE DATE:	03/21/2025
FILE NO:	XXX

REVIEW COPY