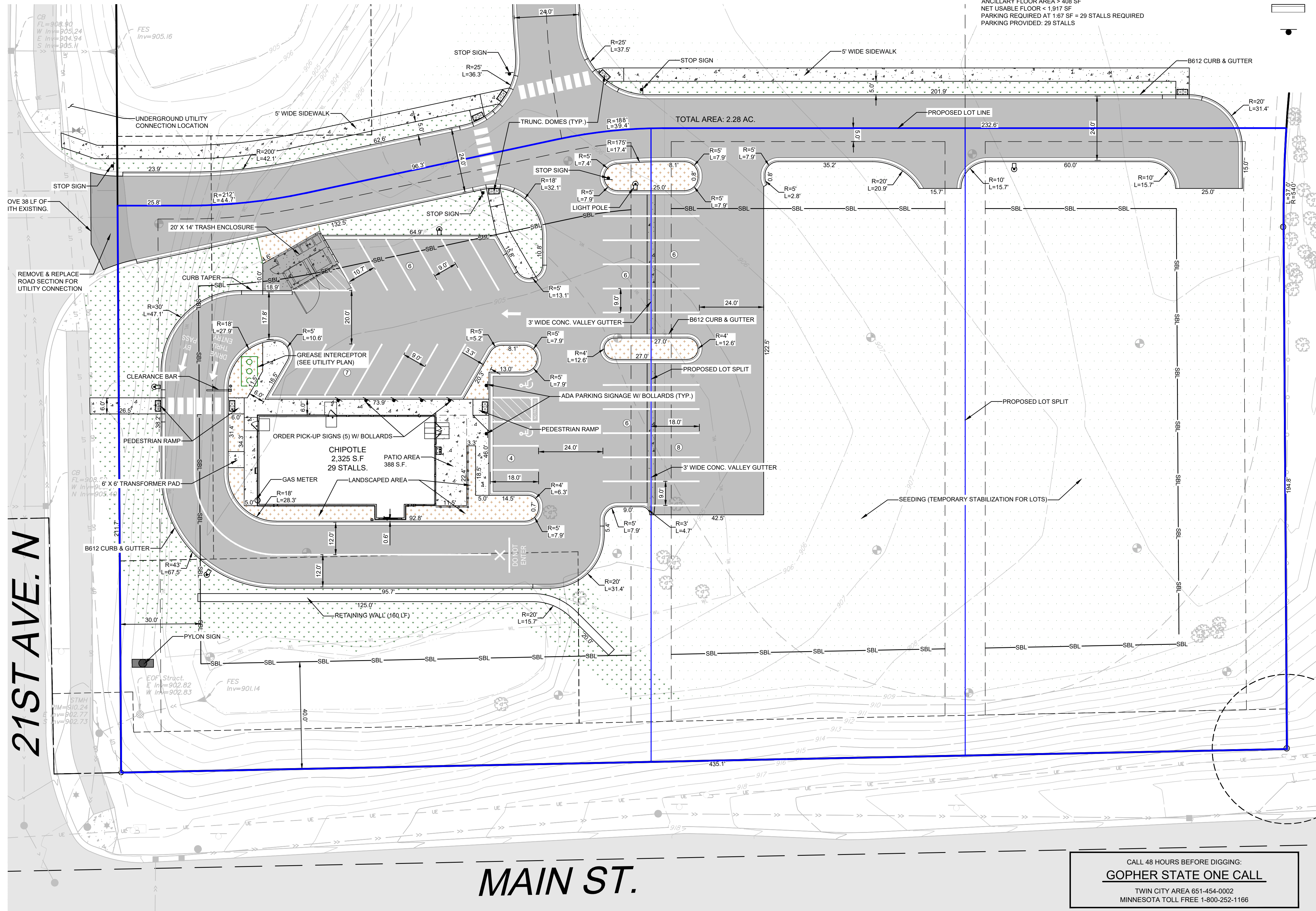
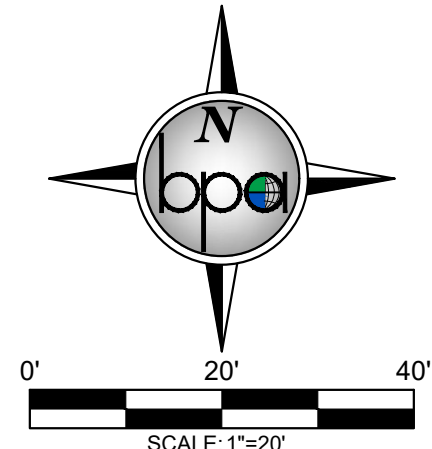


1. PAINTED PAVEMENT MARKING DIMENSIONS ARE SHOWN TO FACE OF CURB. ALL OTHER DIMENSIONS ARE SHOWN TO BACK OF CURB.
2. ALL CONCRETE RAMPS, SIDEWALKS AND ACCESSIBLE HANDICAPPED PARKING STALLS TO CONFORM TO CURRENT A.D.A. REQUIREMENTS.
3. CONTRACTOR SHALL FIELD VERIFY HORIZONTAL AND VERTICAL LOCATION OF EXISTING UTILITIES PRIOR TO START OF CONSTRUCTION.
4. CONTRACTOR SHALL INSTALL EROSION CONTROL MEASURES PRIOR TO THE START OF CONSTRUCTION.
5. CONSTRUCTION SHALL BE IN ACCORDANCE WITH APPLICABLE CITY, COUNTY AND STATE REGULATIONS.
6. SITE SHALL BE CONSTRUCTED IN ACCORDANCE WITH THE PLANS APPROVED BY THE CITY.
7. LANDSCAPING AND TURF ESTABLISHMENT PER LANDSCAPE PLANS & SPECIFICATIONS.
8. ALL DISTURBED AREAS OUTSIDE THE BUILDING PAD WHICH ARE NOT DESIGNATED TO BE PAVED OR RECEIVE AGLIME, SHALL RECEIVE AT LEAST 6" OF TOPSOIL AND SHALL BE SEEDDED OR SODDED. REFER TO THE EROSION CONTROL PLAN FOR SOD AND SEED LOCATIONS. ALL OTHER AREAS DISTURBED BY CONSTRUCTION NOT SPECIFICALLY IDENTIFIED TO RECEIVE A CERTAIN SEED MIX SHALL BE MIXED WITH SEED MIX 25-131.
9. WHERE NEW SOD MEETS EXISTING SOD, EXISTING SOD EDGE SHALL BE CUT TO ALLOW FOR A CONSISTENT, UNIFORM STRAIGHT EDGE. JAGGED OR UNEVEN EDGES WILL NOT BE ACCEPTABLE. REMOVE TOPSOIL AT JOINT BETWEEN EXISTING AND NEW AS REQUIRED TO ALLOW NEW SOD SURFACE TO BE FLUSH WITH EXISTING.

<u>PRINCIPAL STRUCTURE SETBACKS:</u>	
• FRONT:	7'5"
• SIDE:	4'0"
• REAR:	4'0"
<u>SITE DATA</u>	<u>PROPOSED</u>
DRIVABLE PAVEMENT AREA	43,573 SF
WALKABLE PAVEMENT AREA	4,377 SF
BUILDING AREA	2,325 SF
CHIPOTLE LOT AREA	44,007 SF
IMPERVIOUS AREA	24,915 SF
IMPERVIOUS / PERVIOUS %	56.6%
<u>PARKING REQUIREMENTS:</u>	
• MINIMUM PARKING STALL DIMENSIONS: 18' X 9' (90' PARKING)	
• PARKING STALLS: 29 (CHIPOTLE) / 141 (TOTAL)	
• TOTAL STALLS PROVIDED: 29 (CHIPOTLE) / 141 (TOTAL)	
• TOTAL ADA STALLS PROVIDED: 2 (2 VAN ACCESSIBLE)	
<u>CHIPOTLE PARKING CALCULATIONS</u>	
TOTAL BUILDING SIZE = 2,325 SF	
ANCILLARY FLOOR AREA = 408 SF	
NET USABLE FLOOR = 1,917 SF	
PARKING REQUIRED AT 1:67 SF = 29 STALLS REQUIRED	
PARKING PROVIDED: 29 STALLS	

	PROPOSED ASPHALT PAVEMENT
	PROPOSED CONCRETE SIDEWALK
	PROPOSED CONCRETE PAVEMENT
	PROPOSED TURF ESTABLISHMENT (SOD)
	PROPOSED TURF ESTABLISHMENT (SEEDED)
	CONCRETE CURB AND GUTTER - B612
	PROPOSED SIGN



SHEET NO.		CHIPOTLE CAPITAL REAL ESTATE City of Lino Lakes, Anoka County, MN		 BOGART, PEDERSON & ASSOCIATES, INC. LAND SURVEYING CONSULTING ENVIRONMENTAL SERVICES 13076 FIRST STREET, BECKER, MN 55509-9322 TEL: 763-262-3822 FAX: 763-262-3844	I hereby certify that this plan, specification, or report was prepared by me or under my direct supervision and that I am a duly Licensed Professional Engineer under the laws of the State of Minnesota.	
C3		SOUTH SITE PLAN			Signed:  Christopher J. Dain Date: 03/12/2025 Lic. No. 58628	
				DATE: 03/12/2025		
				REV NO. 1		
				DATE 02/13/2025		
				DESCRIPTION CHIPOTLE ONLY SET		
				DESIGN BY: MJM		
				DRAWN BY: MJM		
				CHECKED BY: CJD, MJM		
				SITE BASE		
				DWG FILE:		
				FILE NO.: 24-0255.00		